



Confidential Pre-Purchase Property Report

Complies with Australian Standard 4349.1 – 2007
Inspection of Buildings – Part 1: Pre-Purchase
Inspections – Residential Buildings



www.actioninspections.com.au

Freecall **1800 642 465**

“The Whole Truth & Nothing But the Truth”

Action Property Inspections Pty Ltd ABN 91 118 796 464 BSA LicenceNo. 1106253

REPORT INDEX

PRE-PURCHASE INSPECTION - RESIDENTIAL BUILDING REPORT	3
INTRODUCTION	3
DETAILS OF INSPECTION AGREEMENT	4
INSPECTION DETAILS	4
AREAS INSPECTED	5
AREAS NOT INSPECTED, NOT ACCESSIBLE OR OBSTRUCTED	6
TERMINOLOGY	7
DESCRIPTION OF PROPERTY	9
ALLOTMENT	10
HOUSE EXTERIOR	18
UNDERFLOOR AREAS	31
ROOF EXTERIOR	40
ROOF INTERIOR	44
HOUSE INTERIOR	48
HOUSE INTERIOR WET AREAS	56
SERVICES	64
SUMMARY	71
LIMITATIONS AND CONDITIONS	72
CONTACT THE INSPECTOR	77
GENERAL MAINTENANCE TIPS	78
GLOSSARY	79
ENCLOSURES	82
TAX RECEIPT	83

PRE-PURCHASE INSPECTION - RESIDENTIAL BUILDING REPORT

**Complies with Australian Standard AS4349.1-2007 Inspection of Buildings Part1:
Pre-Purchase inspections - Residential buildings - Appendix "C".**

INTRODUCTION

The following inspection report has been designed to give you our professional opinion and analysis of the premises mentioned on this page.

This report has been prepared for the client mentioned below for their sole use only. Any unauthorised use of this inspection report by a vendor, estate agent or third-party will be met with legal action. Authorisation for the use of an Action Property report can only be obtained directly from Action Property Inspections Pty Ltd. We accept no responsibility for this report where a third party or others outside of our contractual relationship obtains a copy.

You must read the whole Report to understand the significance and action required concerning the defects and/or advice in this Report.

This is not a pest inspection report. This report should not be relied upon to provide advice relating to past or present termite entry or other timber destroying pests. We strongly recommend obtaining a pest inspection to evaluate the premises for any evidence of timber destroying pests e.g. Termites or Borers.

This report should not be relied upon if the contract for sale becomes binding more than thirty days after the initial inspection. A re-inspection after this time is essential.

If you have any questions at all or require any clarification, please do not hesitate to contact your inspector, Andrew Mackintosh directly on 07 3201 2666.

DETAILS OF INSPECTION AGREEMENT

Agreement No:

BA200407.

Date of Agreement:

28/3/20.

The Purpose of the Inspection: The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix C AS4349.1-2007.

The Scope of the Inspection: The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report. Please refer to our full Terms and Conditions and Scope and Limitations as they form an integral part of this report and must be read thoroughly.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

INSPECTION DETAILS

REFERENCE NUMBER:

200407.

NAME OF CLIENT:

Mr and Mrs Sample.

ADDRESS OF PROPERTY INSPECTED:

13 Sample St.
Victoria Point
Queensland

DATE OF INSPECTION:

7/4/20.

TIME OF INSPECTION:

10.45 am.

WEATHER CONDITIONS:

Fine.

PERSONS PRESENT:

- A Mackintosh (INSPECTOR)
- Pest Inspector
- Real Estate Agent
- Purchaser

PROPERTY:

Occupied and fully furnished.



AREAS INSPECTED

AREAS INSPECTED

As required by Australian Standard 4349.1-2007, we have inspected and accessed all areas outlined in Appendix C - Building Elements and Services to be Inspected (subject to any inaccessible areas noted throughout the report). This report, however, should not be seen as an all encompassing report dealing with a building from every aspect. Rather it should be seen as a reasonable attempt to identify any significant defects apparent at the time of the inspection. Whether or not a defect should be regarded as significant, depends to a large extent upon the age and type of the building being inspected.

The general areas inspected subject to safe and reasonable access will normally report on the condition of each of the following areas:- Allotment, House Exterior, Underfloor Areas, Roof Exterior, Roof Interior and House Interior.

AREAS NOT INSPECTED, NOT ACCESSIBLE OR OBSTRUCTED

AREAS NOT ACCESSIBLE OR OBSTRUCTED

- Whilst we endeavour to provide an assessment of the building wall structures, it must be realized that we can not visually inspect timbers etc that have been concealed by wall linings. Only a limited assessment of these concealed walls could be undertaken.
- The internal roof and wall structure concealed by eave linings could not be visually inspected. It is possible for faults to be concealed within this inaccessible area.
- Inspection to the upperside of the floor surface was restricted by floor coverings.
- We would ideally recommend further inspection of the house when all the furniture has been pulled away from the walls and storage removed from within the cupboards and other areas. We are also unable to inspect behind permanent fixtures such as kitchen cupboards and baths etc. It should be noted that it is possible for some faults to be concealed within these areas.

AREAS TO WHICH ACCESS SHOULD BE GAINED

Further inspection of these areas is essential once access has been obtained and prior to a decision to purchase.

- **SERVICES:** We are unable to comment in any detail on specialised service inspections as this falls outside our field of expertise. Specialised service inspections include but are not limited to termite inspections, plumbing inspections, electrical inspections, swimming pool inspections etc. Independent inspectors should be sought if a more detailed evaluation of these areas is required.
- We would ideally recommend further inspection of the house when all the furniture has been pulled away from the walls and storage removed from within the cupboards and other areas. We are also unable to inspect behind permanent fixtures such as kitchen cupboards and baths etc. It should be noted that it is possible for some faults to be concealed within these areas.
- Further inspection of the floor will be required where the upperside of the floor surface was restricted by floor coverings.

APPARENT CONCEALMENT OF POSSIBLE DEFECTS

There did not appear to be any deliberate attempts at apparent concealment of possible defects at the time of inspection.

INFORMATION PROVIDED TO INSPECTOR THAT HAS A BEARING ON INSPECTION AND/OR REPORT

Document analysis is outside the scope of our inspection and without the means of checking for genuine authenticity of documents provided we are therefore unable to evaluate plans, building approvals or any other form of documentation provided at the time of inspection. Therefore no opinion on any documents relating to the property in question has been undertaken.

TERMINOLOGY

This inspection is based upon those areas where visual access has been obtained or where legal access has been granted. The Limitations and Conditions section of this report outlines those areas that we are unable to inspect and forms an integral part of this report and must therefore be read thoroughly.

INSPECTION RATINGS

SATISFACTORY

The items inspected appear to be in a serviceable condition or were in acceptable condition considering the items and their age.

MAJOR DEFECT

A defect of such significance that without correction would not avoid safety concerns, loss of the intended practical performance of the building element or an additional decline in the existing condition of the property inspected.

MODERATE DEFECT

A defect where rectification is required in order to prevent more substantial deterioration of the property or loss of utility.

MINOR DEFECT

A defect other than a moderate or major defect.

UNABLE TO BE INSPECTED

We are unable to inspect these areas due to: no visible access by the naked eye, access being denied, locked doors or access panels, specialised knowledge required outside our field of expertise.

NOT APPLICABLE

This item does not relate to the property inspected and is therefore not part of this report.

REPAIR TIME FRAME

IMMEDIATE

Items within this category require urgent attention and must be repaired immediately.

NO. OF MONTHS STATE - eg. 12

Items should ideally be repaired immediately, and no later than within the number of months indicated otherwise more substantial damage and deterioration will occur.

DEFINITIONS

ELEVATIONS

For ease of interpretation of this report, the building elevations are described as left, right, front and rear. This should always be interpreted from standing on the road facing the front elevation of the house.

DAMAGE

The fabric of the element has ruptured or is otherwise broken.

DISTORTION, WARPING, TWISTING

An element or elements has been distorted or moved from the intended locations

WATER PENETRATION, DAMP RELATED

Moisture is present in unintended or unexpected locations.

MATERIAL DETERIORATION (Rusting, Rotting, Corrosion, Decay)

An element or component is subject to deterioration of material or materials.

OPERATIONAL

An element or component does not operate as intended.

INSTALLATION (including omissions)

The element or component is subject to improper or ineffective installation, inappropriate use, or missing components.

ACCESSIBLE AREA

An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

BUILDING ELEMENT

A portion of a building that by itself or in combination with other such parts fulfils a characteristic function.

SAFETY HAZARD

Any observed item that may constitute a present or imminent serious safety hazard.

The below Definitions relate to the inspectors opinion of the Overall Condition of the Building in the Summary.

HIGH

The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL

The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

LOW

The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

ABOVE AVERAGE

The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with building of similar age and construction.

AVERAGE

The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

BELOW AVERAGE

The Building and its parts show some significant defects and/or very poor non-tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

DESCRIPTION OF PROPERTY

Building type:

This house is high set and is of a timber load bearing design supported on steel posts, concrete stumps and brick foundation walls.

External walls constructed from:

Timber chamfer boards. Fibro (asbestos) cladding. Brickwork.

Internal walls :

Plasterboard. Genuine timber VJ paneling. Fibro cement sheeting.

Windows are constructed from:

Timber framed casement and double hung windows.

Roof Construction:

The roof is of a Hipped and Gable design.

Roof is covered with:

Colour-bond metal roof sheeting (custom orb)

ALLOTMENT

DRIVEWAY

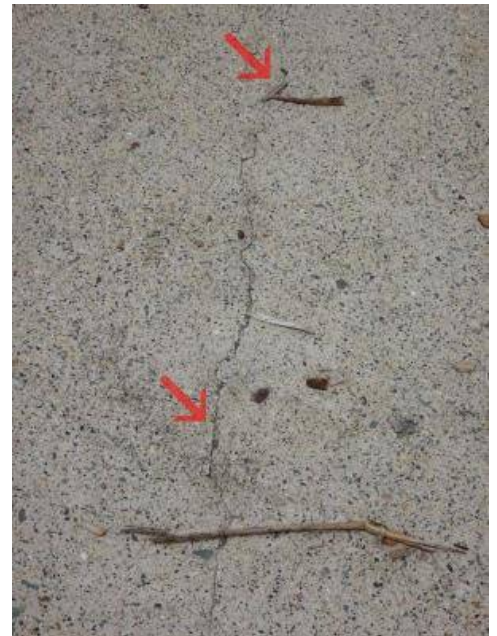
Inspection Rating:

Minor Defect. Monitor.

Repair Time Frame:

24 months.

- Minor cracking has started to occur to the driveway. Monitor for further cracking or deterioration as a precautionary measure. Generally still good at this point in time however repairs may be required in the future if further deterioration occurs. Consult an engineer if further cracking starts to occur.



PATHS

Inspection Rating:

Satisfactory.

- The paths are in a satisfactory condition at this point in time. Slight cracking and possible movement is however likely to occur to the paths with the progression of time.

DRAINAGE - SURFACE WATER

Inspection Rating:

Moderate Defect. Further Investigation Required.

Repair Time Frame:

12 months.

- The drainage across the rear of the property will require improvement to prevent water flow into the sub floor area. Inadequate drainage around the house could lead to moisture retention and subsequent foundation movement or possible termite attraction. The installation of agricultural pipe and or gully trap drainage boxes could help alleviate excessive moisture retention. Consult a plumber with regards to undertaking the necessary repairs.
- The existing stormwater drains appear to be at least partially blocked and require further investigation and subsequent repairs to bring them back to a fully functional condition. Consult a plumber with regards to undertaking the necessary repairs.
- The kerb side drain appears blocked/damaged and requires repair to bring it back to a satisfactory condition. A plumber could undertake the necessary repairs.
- The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection.
- It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains. We are unable to see below ground level to check for possible blockages or breakages to pipes.
- The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to



monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.



FENCES AND GATES

Inspection Rating:

Moderate Defect.

Repair Time Frame:

24 months.

- Decay damage was noted to the fences. The degree of decay damage would be considered moderate at this point in time. Repairs will be required to prolong their life span. Consult a fencing contractor with regards to undertaking the necessary repairs.
- Repairs will be required to the wire fencing where deterioration has occurred to restore the fencing back to a satisfactory condition. Consult a fencing contractor with regards to undertaking the necessary repairs.
- Whilst we are not qualified pest inspectors there appears to be damage consistent with termite attack to the fence timbers. We strongly recommend that a licensed pest inspector be engaged to inspect the fences and dwelling as a precaution. Consult a fencing contractor with regards to undertaking the necessary repairs.
- The services of a surveyor may be required to accurately determine the true boundary lines. We are unable to accurately determine the true boundary lines



of the property during the course of a standard building inspection.



BARBECUE STRUCTURE

Inspection Rating:

Satisfactory, Further Investigation Required, Unable to be inspected.

- The BBQ structure appears to be sound at this point in time however it should be noted that barbecues containing gas components e.g. gas burners and gas control switches etc are not inspected and evaluated within the scope of this report. Gas barbecues should always be evaluated and tested prior to being put into use.

FREE STANDING STRUCTURES

Inspection Rating:

Satisfactory.

- The clothes hoist was in a satisfactory condition at this point in time.
- The garden shed was in a satisfactory condition at this point in time.



RETAINING WALLS

Inspection Rating:

Moderate Defect.

Repair Time Frame:

18 months.

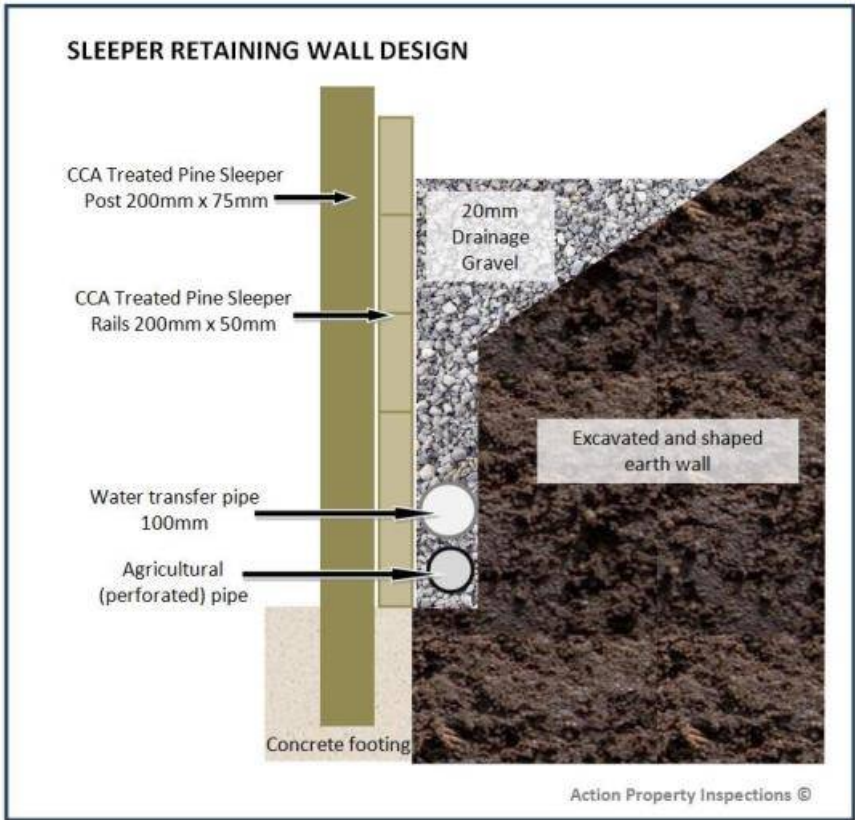
- The newer sleeper retaining walls appear in good order at this point in time. We would however recommend regular inspections on an annual basis to ascertain whether any deterioration is starting to occur e.g. outward movement.
- Decay damage was noted to the old timber retaining walls. The decay damage would be considered moderate at this point in time with more substantial damage occurring with the progression of time. Consult a landscaper or carpenter with regards to undertaking repairs to try and prolong the life span of the retaining walls.
- It is questionable as to how much drainage has been incorporated behind the retaining wall to prevent movement of the wall occurring. Additional drainage may be required behind the retaining walls to help control water flow and to alleviate pressure against the

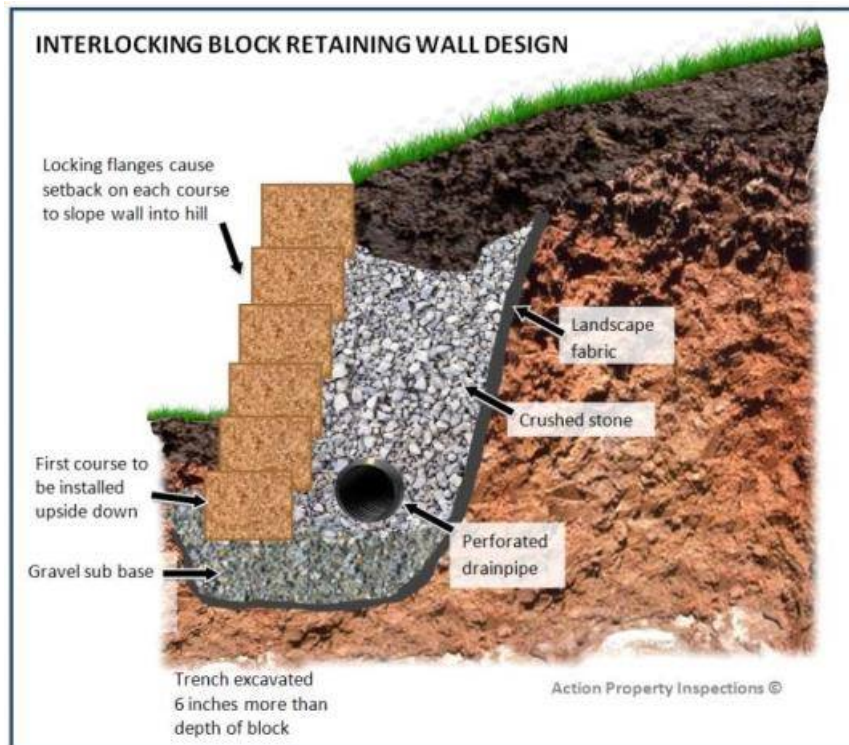


retaining walls. Inadequate drainage could lead to premature wall deterioration eg. movement. Monitor the wall closely for premature deterioration due to possible inadequate drainage.



SCHEMATIC DIAGRAM





SURROUNDING TREES

Inspection Rating:
Moderate Defect.

Repair Time Frame:
24 months.

- Closely monitor the roots from some of the larger trees around the house as they could potentially disturb the surrounding drains causing blockages or pipe fractures. Damage caused by tree roots can be costly to rectify if not addressed early. Large trees close to the house should ideally be removed.
- Some trees are too close to the house and will require subsequent removal to prevent potential damage occurring eg. foundation movement, plumbing damage etc. It should be noted that trees can cause considerable damage should their roots have an impact on the foundation material under and around the house eg. house subsidence and wall cracking etc.



HOUSE EXTERIOR

RECOMMENDATION

EXTERNAL TIMBER WALLS AND TIMBER STRUCTURES

It should be noted that: (decks, verandas, pergolas, balconies, handrails, stairs, retaining walls, children's play equipment, fences, garages, carports, sheds, gazebos, out buildings). We would recommend a detailed analysis of the construction and current structural stability of timber walls or timber structures by an engineer or other suitably qualified person. Annual inspections of timber walls or timber structures by an engineer, or other suitably qualified person are recommended to ensure any maintenance that may become necessary is identified. We would suggest that if people use the walls or structures for any purpose then care is taken that it is not overloaded.

WALL CLADDING

Inspection Rating:
Major Defect.

Repair Time Frame:

6 months.

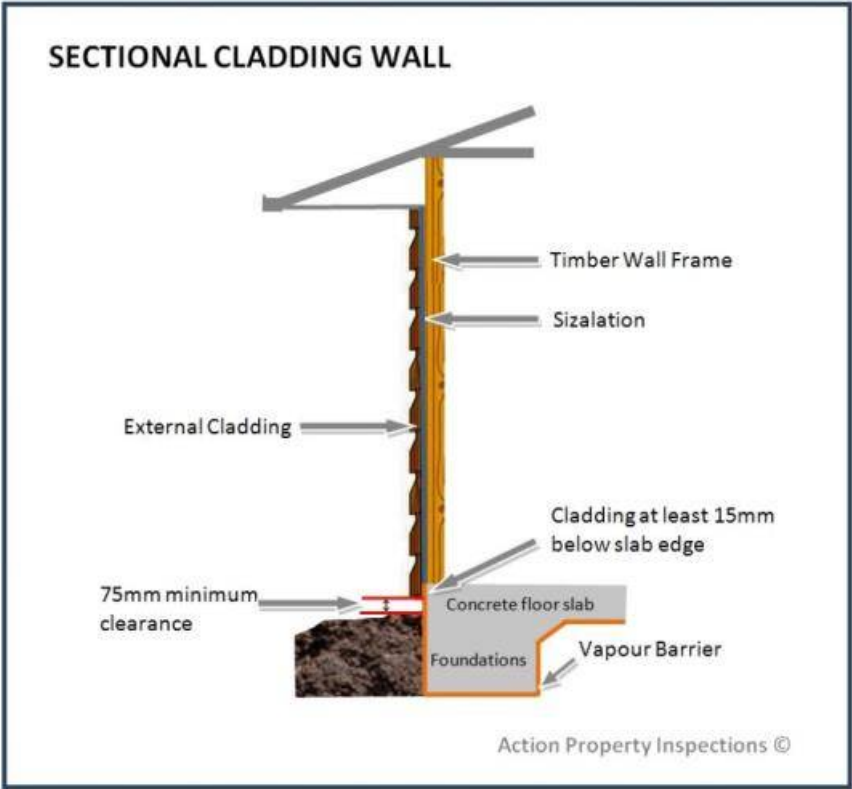
- Decay damage has occurred to many of the timber chamfer boards. The decay damage would be considered moderate to significant at this point in time. Repairs will be required to prevent more substantial damage occurring eg. further internal water penetration contributing to wall frame decay etc. Consult a carpenter/builder with regards to replacing the damaged boards.
- Moderate subsidence and distortion has occurred to the house cladding and wall frames. Further consultation will be required with an engineer to ascertain the best method of re-bracing and stabilizing the house structure. The lack of bracing and deterioration of the stumps appears to be the primary cause of the subsidence. Consult a re-stumper/builder with regards to replacing the corroding steel stumps and spalling damaged concrete stumps. Future repairs will be required should more substantial deterioration occur.
- Some of the wall cladding sits too close to ground level, leaving these areas vulnerable to moisture related damage and/or termite attack eg front elevation. As per AS3660, cladding should have 75 millimetres of ground clearance to help prevent deterioration and potential termite entry. Consideration should be given to options such as consulting a pest inspector with regards to upgrading termite barrier protection or where possible modifying the wall or cladding etc.







SCHEMATIC DIAGRAM



MASONRY WALLS

Inspection Rating:

Moderate Defect.

Repair Time Frame:

18 months.

GENERAL FAULTS

- Rising damp was noted on some of the brickwork at various locations around the house. Further consultation with a bricklayer or specialist in waterproofing should be undertaken before the rising damp becomes significant. It should be noted that prolonged dry weather conditions may not adequately show up rising damp problems in the surrounding walls. Rising damp may become more evident after prolonged rain periods. Monitor as a precaution and undertake repairs if required to prevent further damage occurring eg. wall fretting etc. Silicone injection around the damp course line, or similar methods of rectification can be used to prevent rising damp should it become excessive.
- Some of the brickwork was fretting eg rear elevation. Modifications/repairs will be required to prolong the life span of the fretting brickwork eg. silicone injection of walls or replacing damaged brickwork. Further consultation with a bricklayer or specialist in waterproofing will be required to ascertain the best method of monitoring and repair. Monitor for further deterioration as a precaution. It is likely that further deterioration will occur with the progression of time unless modifications/repairs are undertaken.



MASONRY WEEP HOLES

- The house has been constructed without adequate wall weep holes. This could leave the house more vulnerable to possible internal moisture penetration during prolonged and heavy rain periods and reduces air circulation within the wall cavity. Monitor closely for possible internal moisture issues.

SCHEMATIC DIAGRAM



MASONRY MOVEMENT

- Repair and monitor the crack running through the masonry wall at the rear RH corner of the house. This particular crack ranges from hairline to approximately 6mm in width. Further consultation with an engineer will be required before any increase in the size of the crack occurs. Modifications and repairs are likely to be required to prevent further deterioration occurring eg remove the large tree adjacent to the wall and improve drainage where required to prevent retained moisture causing further subsidence.





PAINTED SURFACES

Inspection Rating:
Moderate Defect.

Repair Time Frame:
24 months.

- Consult a painter with regards to re-painting the exterior of the house to restore it back to a satisfactory condition and to prevent deterioration occurring.
- The house paint finish may be of lead base content. Specific safety precautions are required when sanding back lead based painted surfaces. We would recommend testing the surface prior to sanding back and repainting.

INFILL PANELS

Inspection Rating:

Minor to Moderate Defect.

Repair Time Frame:

12 months.

- Some of the infill panels have ground contact leaving them vulnerable to premature decay and termite attack. Consult a carpenter with regards to trimming the panels at least 75 millimetres above ground level to help prevent decay and termite damage.



GABLE STRUCTURE

Inspection Rating:

Minor Defect.

Repair Time Frame:

18 months.

- Slight splitting and cosmetic decay/deterioration has started to occur to the barge boards. Cosmetic repairs will be required to prolong their lifespan.



FASCIAS AND EAVES

Inspection Rating:

Minor Defect.

Repair Time Frame:

12 months.

FASCIAS

- The fascias were generally found to be in a satisfactory condition.

EAVES

- There is some evidence of water penetration occurring within the eaves. Monitor for further water penetration occurring within the eaves during extreme rain conditions and undertake maintenance where required to prevent damage occurring eg. keep gutters clean to prevent water overflow into the eaves.
- Decay damage has started to occur to the timber eaves beading where the vent pipe flashing has been leaking. Repairs will be required to prevent further decay damage.

DOWNPIPES

Inspection Rating:

Minor Defect.

Repair Time Frame:

12 months.

- Some of the stormwater collar connections have broken and require repair to prevent water leaks from the base of the downpipes. Ongoing downpipe leakage can contribute to foundation movement due to excessive moisture retention around the footings. Consult a plumber with regards to replacing the damaged collar connections.
- It is questionable as to the condition of the stormwater lines. We would recommend close monitoring during prolonged rain periods to establish whether they are still fully functional.
- We are unable to see below ground level to check for blockages or pipe breakages.



STAIRS REAR

Inspection Rating:

Moderate to Major Defect, Safety Hazard.

Repair Time Frame:

Immediate.

TIMBER STAIRS

- Some of the step riser heights were uneven eg 35mm variation to the top step tread. Riser heights from ground level to top landing should always be the same consistent height to maintain safe access up and down the stairs. Uneven riser heights constitute a potential trip/safety hazard and should be modified. Consult a carpenter or builder with regards to undertaking the necessary modifications to restore the stairs back to a satisfactory standard.
- Some of the treads are becoming loose and require re-securing as they could pose a potential safety hazard. Consult a carpenter with regards to undertaking urgent repairs.
- Decay damage was noted to the stair stringers and treads. The decay damage would be considered minor to moderate at this point in time. Consult a carpenter with regards to undertaking the necessary repairs to prolong their life span.
- Consult a carpenter with regards to replacing the rusty booker rods before they break and allow the stringers to separate and the treads to fall out. Potential safety issue.
- Specifications have been laid down by the Australian Building Code Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. In the interest of safety we would strongly recommend that all balustrades be upgraded to meet current standards.





VERANDAS REAR

VERANDA GENERAL

- We would recommend that the veranda structure be inspected annually for signs of deterioration eg. decay or corrosion damage etc. Unrepaired damage could lead to a failure of the veranda structure.



HANDRAILS

- The height of the hand railing does not comply with the current BCA standards. The current required height for a handrail above floor level is one metre. We would ideally recommend the handrail structure be upgraded to the current requirement as a safety precaution. Consult a carpenter with regards to undertaking the repairs where required.
- Some sections of handrail are deflecting and starting to sag and require cosmetic repair eg. A carpenter could install additional block support under the centre of the handrails where required.
- Additional fixings will be required to adequately secure the handrails to the posts to prevent possible movement or collapse occurring. Nails alone could prove to be inadequate, particularly as they rust with the progression of time. Install fixing brackets or more substantial screws. Consult a carpenter with regards to undertaking the modifications. Potential safety issue.



SUB FLOOR STRUCTURE

- Decay damage was noted to the deck sub floor structure eg floor joists. The decay damage would be considered moderate to significant at this point in time. Repairs will be required to prolong the life span of the veranda. Unrepaired decay damage will lead to more substantial deterioration occurring potentially jeopardising the structural integrity of the deck. Veranda structures should be inspected on an annual basis for deterioration. Consult a carpenter with regards to undertaking the necessary repairs.
- Install blocking between the floor joists to prevent them potentially rolling over when under load.
- Flashing should have ideally be installed between the decking and the joists to help prevent premature joist edge decay and splitting. Closely monitor for premature decay of the top edge of the joists as a precaution.
- The steel veranda support posts have direct ground contact and will subsequently be prone to premature corrosion. Soil should always be kept away from the bottom of the steel support posts to prevent premature corrosion. The application of domed concrete and kill rust paint around the base of steel posts is a good means of preventing premature corrosion. Consult a builder with regards to undertaking modifications to the posts.





PATIO FRONT

Inspection Rating:
Moderate Defect.

Repair Time Frame:
12 months.

PATIO GENERAL

- The patio structure was generally found to be in a sound condition at this point in time however does require repair to prevent further deterioration occurring. We would however recommend that the patio structure be inspected annually for signs of deterioration.



PATIO FLOOR STRUCTURE

- Spalling damage has started to occur to the patio slab. Repairs will be required to prevent further deterioration occurring. More substantial repairs or replacement of the slab will be required should further damage occur. Excessive spalling damage could cause structural deterioration to the patio slab. Consult a builder with regards to undertaking the required repairs.

HANDRAILS

- The height of the hand railing does not comply with the current BCA standards however would have been deemed compliant when originally constructed. The current required height for a handrail above floor level is one metre. We would ideally recommend the handrail structure be upgraded to the current requirement as a safety precaution.
- Corrosion was noted to the handrail structure. The corrosion damage would be considered slight at this point in time. Minor repairs will be required to prevent further damage occurring.

UNDERFLOOR AREAS

STUMPS

Inspection Rating:

Major Defect. Further Investigation Required.

Repair Time Frame:

6 months.

STEEL POSTS

- Corrosion damage has occurred to the perimeter steel support posts. The degree of corrosion damage to the steel posts ranged from minor to significant at this point in time. Whilst rust repairs could be undertaken to some of the posts, replacement of the most affected steel posts will be required to maintain the house in a structurally sound condition eg approximately 7 posts to be replaced.
- Additional diagonal bracing will be required to the steel posts to help prevent lateral movement of the house. Further consultation with an engineer will be required to determine the best method and placement for the bracing.





CONCRETE STUMPS

- Spalling damage was noted to the concrete stumps. The degree of spalling damage to the concrete stumps would be considered moderate to significant at this point in time. Repairs could be undertaken to try and prolong the lifespan of some stumps however replacement of the most effected stumps will be required eg approximately 6 stumps.
- Subsidence has started to occur to the concrete support stumps. The degree of subsidence would be considered moderate at this point in time. Repairs will be required to maintain the house in a level and stable condition. Some of the stumps will require replacement to prevent further settlement occurring.





TIE DOWNS

Inspection Rating:
Moderate Defect.

Repair Time Frame:
12 months.

- The tie down strapping has sustained corrosion damage and is therefore no longer adequate for the purpose of securing the house particularly given extreme storm conditions as the strength of the strapping has now been compromised. Repairs or alternative means of tie down will be required to maintain stability for the house eg bolt on threaded cyclone rods.



TERMITE BARRIERS (Ant Caps etc)

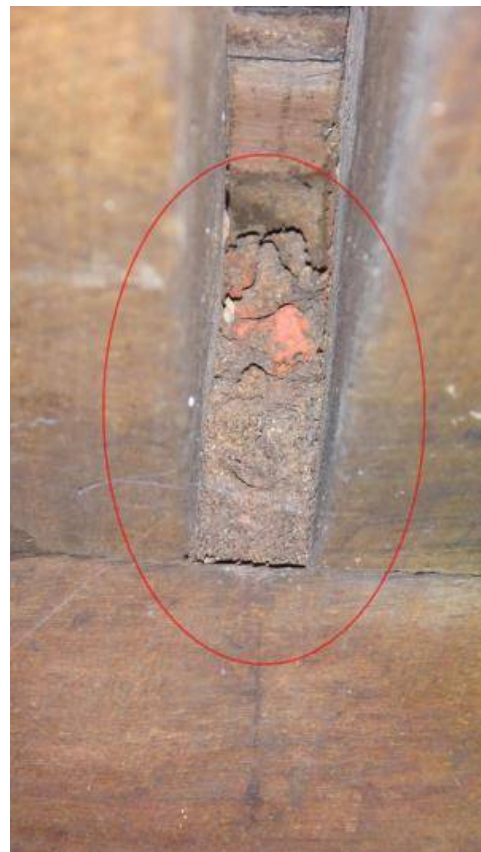
Inspection Rating:

Moderate Defect, Further Investigation Required.

Repair Time Frame:

Immediate.

- Although we are not licensed pest inspectors, we did notice some evidence of termite entry/damage into the subfloor area eg damage noted to a couple of bearers. We would recommend immediate consultation with a pest inspector as a precaution.
- Corrosion damage has started to occur to the ant capping. The degree of corrosion damage would be considered moderate at this point in time. Closely monitor the deteriorating capping as it could potentially allow termite entry into the house. Eventual capping replacement or termite barrier upgrading will be required.
- The infill panels breach the termite barrier protection and could potentially introduce termite activity into the house. Modification of the panels will be required.
- There is inadequate termite protection to this house to prevent potential termite entry. Consult a pest inspector with regards to upgrading termite barrier protection as a precaution. Inadequate protection leaves this house vulnerable to termite attack.
- It should be stressed that as a **building inspector** we have not inspected the house for termite activity and cannot comment on the extent of any possible termite damage/activity that may be present as this does not fall within the scope of a standard building inspection. We would recommend termite inspections be undertaken by an independent **pest inspector** prior to the purchase of any property as a precautionary measure. Regular pest inspections should always be undertaken at a minimum of 12 monthly intervals. In some high risk circumstances, more regular inspections will be required.



BEARERS AND JOISTS

Inspection Rating:

Satisfactory to Minor Defect.

- The bearers and joists were generally found to be in good condition.
- Deflection was noted to the bearers and joists under the house. The degree of deflection would be considered only slight at this point in time. Generally still good. Monitor for further deflection or undulation as a precaution.

FOUNDATION/RETAINING WALLS

Inspection Rating:

Minor to Moderate Defect.

Repair Time Frame:

24 months.

- The foundation walls were generally found to be in a sound condition at this point in time. Regular monitoring will however still be required.
- There is evidence of moderate moisture penetration occurring through the foundation walls. Future repairs will be required to prevent further moisture penetration occurring. Moisture penetration can contribute to termite attraction or wall deterioration eg brick fretting.



VENTILATION

Inspection Rating:

Moderate Defect.

Repair Time Frame:

12 months.

- There is some evidence of water penetration occurring through the subfloor area. Improved drainage will be required to prevent further water penetration during rain periods. Water flow under the house will contribute to house movement, mould and fungi issues, decay and termite attraction.
- Ventilation is important in minimising infestations by timber pests and helps prevent damp problems. Ventilation should always be maintained to a subfloor area.





FLOORING

Inspection Rating:
Satisfactory.

- The floor boards were generally found to be in a satisfactory condition at this point in time.

DECAY

Inspection Rating:
Moderate Defect, Further Investigation Required.

Repair Time Frame:
Immediate.

- Some water staining was noted to the underside of the bathroom floor area. Investigate the cause of the water staining and undertake repairs where required to prevent further water penetration and possible decay damage eg appears to be a leak from the main bathroom shower.



CONCRETE SLAB

Inspection Rating:

Satisfactory.

- The concrete slab was generally found to be in a satisfactory condition at this point in time.

UTILITY AREAS

Inspection Rating:

Minor Defect, Further Investigation Required.

Repair Time Frame:

Immediate.

- One of the main requirements for a subfloor area being acceptable as a habitable living space is adequate head clearance. It should be noted that in this instance there is less than the required 2.4 metres of head clearance to legally utilize the subfloor area as a habitable living space. Current head clearance is 2360mm. In some cases an exemption can be issued in order to obtain approval for an area with less than the required 2.4 m of head clearance. To obtain this exemption adequate natural light and ventilation should be achieved, the required ceiling height should be still relatively close to the required 2.4 m and there should be no health and amenity issues such as moisture penetration. Investigate further to establish whether an exemption may exist in this situation.





ROOF EXTERIOR

The following is an opinion of the general quality and condition of the roofing materials. The inspector cannot accurately determine whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall.

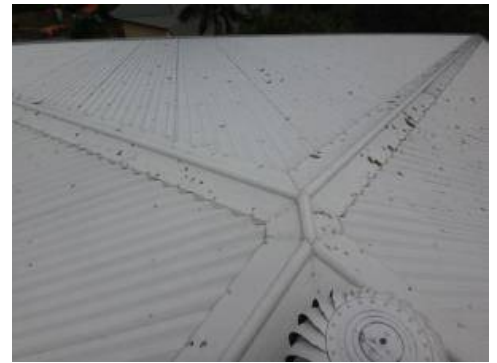
METAL ROOF SHEETING

Inspection Rating:

Minor to Moderate Defect.

Repair Time Frame:
Immediate.

- The overall condition of the roof covering is good at this point in time however ideally requires a thorough clean to bring it back to a neat appearance.
- The roof ventilator (whirly bird) has seized and requires repair to bring it back to a functional condition and to prevent water leaks occurring during rain periods.





FLASHING

Inspection Rating:
Satisfactory.

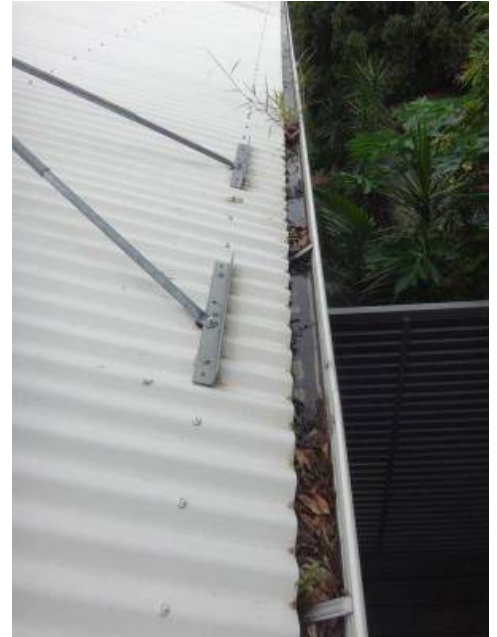
- The roof flashing was found to be in a satisfactory condition at this point in time.

GUTTERS

Inspection Rating:
Minor Defect.

Repair Time Frame:
Immediate.

- Clean the leaf mulch out of the gutters to prevent blockages and possible water penetration within the roof. It should be noted that we were unable to adequately inspect the interior of the guttering as the leaf mulch prevented visual inspection. It is possible for corrosion to be concealed under all the leaf mulch. Further inspection is ideally required when the mulch has been removed.
- Install a gutter guard to the guttering around the roof to prevent debris build up within the guttering that could lead to premature corrosion or water overflow into the roof during rain periods.



VALLEYS

Inspection Rating:

Satisfactory.

- The overall condition of the valley trays is good.

TV ANTENNA

Inspection Rating:

Satisfactory.

- The TV antenna generally appears to be in a sound condition. We are however unable to determine whether this is the correct antenna for this location or whether it will provide adequate reception.



ROOF INTERIOR

ROOF STRUCTURE

Inspection Rating:

Minor Defect.

Repair Time Frame:

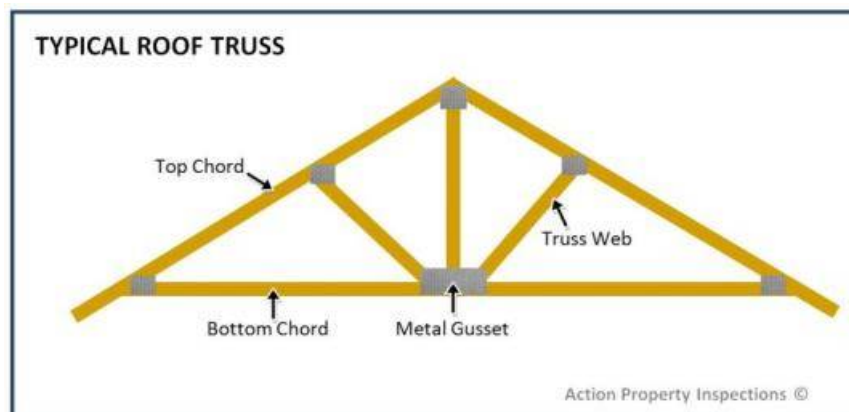
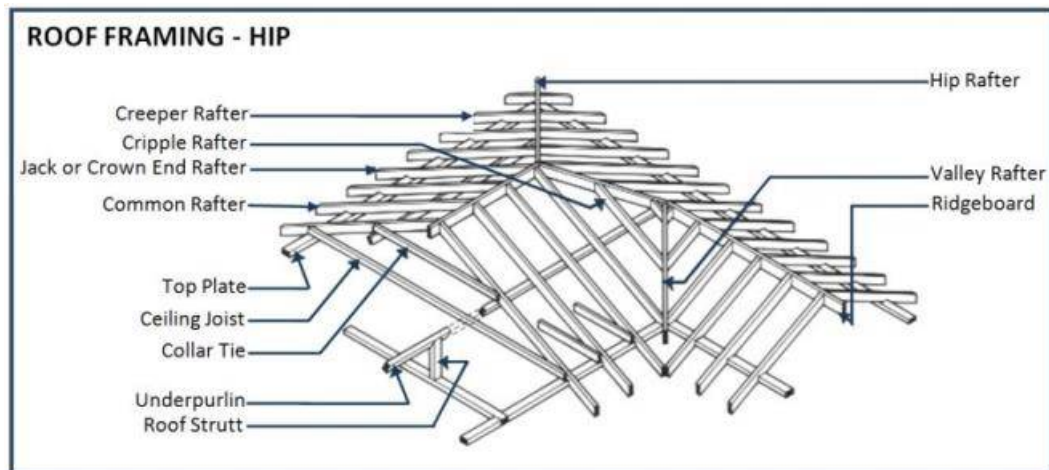
24 months.

- The internal roof structure generally appears to be sound at this point in time. Slight undulation of the roof structure was however noted. Monitor for further roof undulation as a precaution and undertake repairs should further undulation or deflection start to occur. Generally still sound at this point in time. Consult an engineer should further deflection occur.





SCHEMATIC DIAGRAM



DECAY

Inspection Rating:

Minor to Moderate Defect.

Repair Time Frame:

18 months.

- Slight to moderate decay damage has started to occur to the roof battens. Monitor for further deterioration and undertake repairs where required eg replace some damaged ridge battens.



CEILING LININGS

Inspection Rating:

Minor to Moderate Defect. Satisfactory to Minor Defect.

Repair Time Frame:

Immediate.

- There was some evidence of water penetration within the roof at various locations. Monitor for further possible water penetration during heavy rain conditions as a precaution and undertake repairs or modifications where possible to prevent further leaks.
- It should be noted that sarking was not installed to the roof. Without sarking it is often a common occurrence for some degree of wind driven water penetration to occur into the roof space during rain periods. In some instances these water leaks can cause ceiling staining or cosmetic damage to the ceiling linings. During extreme rain conditions substantial water penetration can occur if sarking has not been installed. Monitor for possible water leaks as a precaution.
- Install heat shielding around the lights to help reduce the risk of a possible fire from the surrounding insulation. Simply removing the insulation away from the lights could still pose a fire hazard should the insulation be pushed back up against the lights. Excessive removal of the insulation away from the lights also reduces the effectiveness of the insulation.
- It should be noted that we were unable to adequately inspect the surface of the ceiling and attached roof timbers as it was concealed by insulation. This area could only be sufficiently inspected if the insulation were removed.

HOUSE INTERIOR

INTERNAL LININGS

Inspection Rating:

Moderate Defect. Further Investigation Required.

Repair Time Frame:

12 months.

CEILING

- There is some evidence of what appears to have been internal water penetration to the ceiling at some locations eg front main bedroom. Undertake repairs to prevent further water penetration followed by cosmetic rectification of the water staining/damage. Depending on the cause of the water stain this may involve various trades e.g. plasterer, painter and roofer etc
- Hairline cracks were noted to some cornices eg, mitred joints. Cosmetic repairs will eventually be required with a product such as plaster or No More Gaps to conceal the hairline cracks. Generally still sound at this point in time.



WALLS

- The internal wall linings were generally found to be in a satisfactory condition at this point in time. It should however be noted that slight hairline cracks could occur to wall and ceiling linings due to expansion and contraction and with the progression of time. Monitor for wall cracking as a precaution, and undertake repairs as required.
- Some cosmetic touchups will be required to some wall dents and blemishes to restore the wall linings back to a perfect finish.
- Termite issues: It should be stressed that as a building inspector we have not undertaken any form of inspection to establish whether the house has sustained previous or current termite attack as this falls outside our field of expertise. Architraves, skirting boards and walls etc have not been tapped, probed, banged or scanned in anyway to determine the presence of termites or termite damage. It is possible that termite damage may not be detected during the course of a building inspection alone. In all instances we would recommend the services of a pest inspector to evaluate for possible previous or current termite activity prior to purchase of the property.

PAINT AND WALL PAPER FINISH

Inspection Rating:

Minor Defect.

Repair Time Frame:

48 Months.

- General internal cleaning and paint touchups will be required to maintain the house in a satisfactory condition.

TIMBER FLOORING

Inspection Rating:

Satisfactory to Minor Defect.

Repair Time Frame:

36 months.

- The timber floor structure generally appears to be in a sound condition at this point in time, where we could establish.
- Some undulation was noted to the upstairs floors. The floor undulation would be considered slight at this point in time. Monitor for further floor undulation as a precaution.
- Some cosmetic surface deterioration has started to occur to the floorboards eg. scratches etc. Future cosmetic repairs may eventually be required to maintain the floorboards in a neat and satisfactory condition.

FLOOR COVERINGS (Carpets, Vinyl and Floor Tiles)

Inspection Rating:

Minor Defect.

Repair Time Frame:

24 months.

- Moderate soiling and traffic wear was noted to the carpets. A thorough carpet clean will be required to try and prolong their life span.

DOORS

Inspection Rating:

Minor Defect.

Repair Time Frame:

18 months.

INTERNAL DOORS

- Adjust some door furniture to maintain their ease of operation e.g. latches and strike plates etc.
- Some door handles have damaged the wall linings. Subsequent wall patching will be required to repair the wall and door stops installed where missing or broken.

EXTERNAL DOORS

- The aluminium sliding doors require adjustment and lubrication to maintain their ease of operation.
- Deterioration has occurred to the external screen doors eg damaged roller glide wheels. Repairs will be required to try and prolong their lifespan.

WARDROBES

- The wardrobes were generally found to be satisfactory.
- We were unable to adequately inspect the interior of the wardrobes due to the clothes and storage within concealing full visual access.

WINDOWS

Inspection Rating:

Moderate to Major Defect, Safety Hazard.

Repair Time Frame:

Immediate.

TIMBER

- Some windows were in extremely poor condition and could not be opened without the windows literally falling apart and the glass dislodging. Whilst some of the windows could be repaired others will require replacement eg front LH side and rear RH side bedrooms in particular. Lubricate and adjust the newer window sashes to maintain their ease of operation.
- Hood flashing and awnings were missing from above the windows. This is contributing to the water penetration occurring into the house walls during rain conditions. Large gaps around the deteriorating windows and an apparent lack of satisfactory flashing is also contributing to the water penetration.
- Glazing putty repairs will be required to help prevent decay and to prolong the life span of the glazing within the windows.
- Repairs will be required to some window latches to



- maintain at least basic security.
- Glazing in older houses (built before 1978) may not necessarily comply with current Glass Safety Standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.





STAIRS & HANDRAILS

Inspection Rating:

Moderate Defect, Safety Hazard.

Repair Time Frame:

Immediate.

- The internal stairs were generally found to be in a satisfactory condition however install a handrail to the stairs where missing to prevent people potentially falling down the stairs. BCA requirement.



CEILING FANS

Inspection Rating:

Satisfactory.

- The ceiling fans were generally found to be in a satisfactory condition.





FLY SCREENS

Inspection Rating:
Satisfactory.

- The condition of the fly screens were generally found to be satisfactory at this point in time.

FIREPLACE/WOOD BURNING DEVICES

Inspection Rating:
Satisfactory, Further Investigation Required.

- The fireplace was generally found to be in a sound condition where we could see. Only a limited visual inspection could however be undertaken at the time of inspection. The fireplace was not operated to determine its smoke drawing capabilities etc.
- We would recommend cleaning and general maintenance of the fireplace stove by a specialist prior to operation as a precaution.





SMOKE/FIRE DETECTOR

Inspection Rating:

Satisfactory. Further Investigation Required.

- Smoke alarms have been installed to the house. Regular testing of the alarms will be required to ensure they remain fully functional. Upon taking ownership of the house we would ideally recommend replacing the batteries within the smoke alarms as a precautionary measure.
- AS3786 advises that smoke detectors are required for all buildings where people sleep. To comply with legislation, interconnected photoelectric smoke alarms are required: From 1 January 2017: in all new dwellings and substantially renovated dwellings (this applies to building applications submitted from 1st of January 2017). From 1 January 2022: in all domestic dwellings least and sold. From 1st January 2027: in all other domestic dwellings. It is recommended that an electrician be consulted to advise on those installed or install these detectors.
- It should be noted that smoke alarms should be replaced no later than 10 years after manufacture date or ideally sooner. This includes hardwired smoke alarms.
- For various reasons, it should be noted that we are not legally able to remove smoke alarms to check manufacture dates or to operate the smoke alarms as part of this inspection. Regular testing and maintenance will however be required to ensure they remain fully



operational.



HOUSE INTERIOR WET AREAS

BATHROOM

Inspection Rating:

Minor Defect.

Repair Time Frame:

Immediate.

BATHROOM GENERAL

- UPSTAIRS BATHROOM
- The bathroom was generally found to be in a fully functional condition however does require some minor repairs.



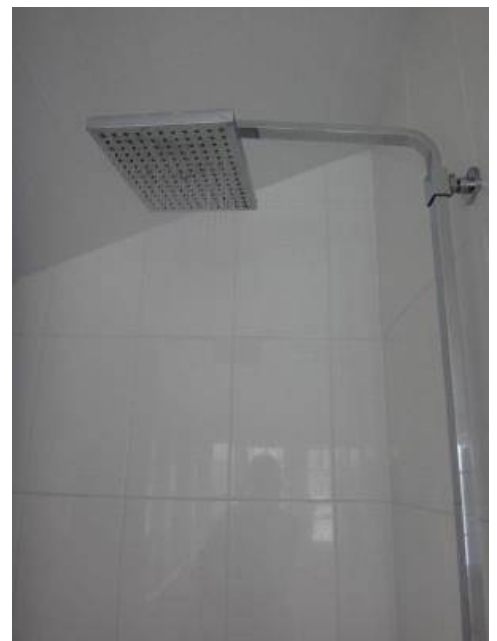
VANITY UNIT

- The condition of the vanity unit is generally good however slight water leakage was noted from the vanity waste where crude repairs have been undertaken. More appropriate repairs will be required before the water leak causes damage to the vanity unit.



SHOWER

- The shower was generally found to be in a sound and functional condition when tested at the time of inspection.
- Shower areas (where present) are visually checked for leakage. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of the inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.



BATHROOM 2

Inspection Rating:

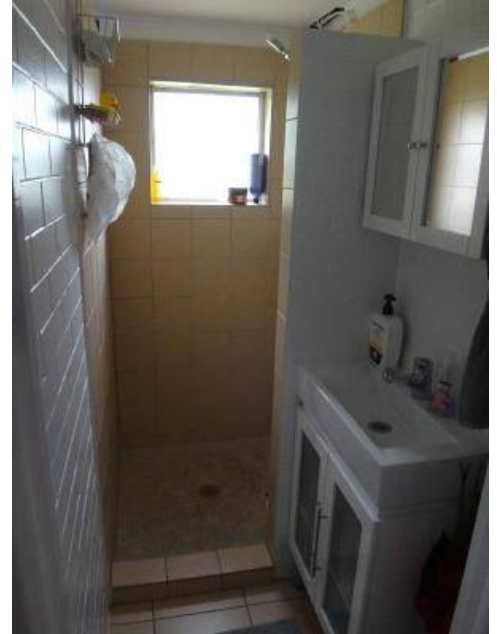
Minor to Moderate Defect, Further Investigation Required.

Repair Time Frame:

3 Months.

BATHROOM GENERAL

- DOWNSTAIRS BATHROOM



VANITY UNIT

- The condition of the vanity unit is generally good.



SHOWER

- Apply silicone around the body of the shower taps to prevent further water penetration into the walls and subsequent decay.
- There is evidence of water penetration into the wall/floor surrounding the shower. We would recommend further investigation to determine the extent of what appears to be a shower flashing leak. Unrepaired water penetration could lead to more substantial decay and possible termite attraction. It is possible that some degree of decay damage may have started to occur within the wall at this point in time. Investigate further.



TOILET

Inspection Rating:
Satisfactory.

- The actual toilet and cistern generally appear to be sound at this at this point is time



TOILET 2

Inspection Rating:
Satisfactory.

- POWDER ROOM TOILET
- The actual toilet and cistern generally appear to be sound at this at this point is time



KITCHEN

KITCHEN GENERAL UPSTAIRS KITCHEN



APPLIANCES

- It should be noted that only a very basic visual inspection of the kitchen appliances was undertaken. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. A more detailed inspection of the appliances is ideally required by a specialist if so desired.





PLUMBING GENERAL

- In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.



LAUNDRY

Inspection Rating:
Satisfactory.

- The laundry generally appears to be in a satisfactory condition at this point in time.
- Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned.



SERVICES

The inspection of all services is limited and strictly confined to our field of expertise only, as per AS4349.1. We are therefore unable to guarantee that all faults relating to services have been detected. In all cases we would suggest a licensed and insured contractor in each specialised field be engaged immediately to carry out further investigations.

The items mentioned below, under each of the services headings, are just some of the obvious items noted by the inspector whilst carrying out our general inspection.

PLUMBING

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- Evidence of previous patching was noted to the sewer vent pipe. This often indicates previous blockages and subsequent repairs with the aid of an electric eel. The eel is a device placed through the stormwater line to chew out tree roots and debris in an attempt to at least temporarily clear the blockages. Eventual sewer line replacement may be required should further deterioration or blockages occur.
- Some crude plumbing alterations appear to have been undertaken within the sub floor of the house. We would recommend further investigation and subsequent repairs undertaken where required to ensure the plumbing is in a compliant and fully functional condition.
- The house still retains galvanized iron water pipes. Eventual pipe replacement will be required as deterioration of these pipes occurs. Monitor their condition closely.
- We would recommend an independent plumbing inspection be carried out by licensed plumber prior to purchase of the property as a precautionary measure to check for compliance and general plumbing issues. It should however be noted that unless a camera is placed into the sewer or stormwater pipe lines, even a plumber may not be able to check for blockages within underground pipes eg. tree root activity or pipe damage etc.



WATER PRESSURE

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- It was noted that some of the taps appear to have relatively low water pressure. We would recommend further investigation to establish the cause of the pressure loss and undertake repairs where possible. Appears to be due to deterioration (corrosion) of the old galvanized water pipes.
- We would recommend an independent plumbing inspection be carried out by licensed plumber prior to purchase of the property as a precautionary measure.

GAS

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- A bottle gas supply has been installed to the premises. Regular inspections and maintenance of the bottle gas connections will be required as a precautionary measure.
- We would recommend the installation of a chain or securing strap to adequately secure the LPG bottles in position to prevent them potentially being knocked over. Potential safety issue and must comply with AS5601.1. If the bottles fall over the attached gas lines may rupture or the heavy cylinders could crush a small child.
- We would recommend an independent gas inspection be carried out by licensed plumber prior to purchase of the property as a precautionary measure.



HOT WATER SERVICE

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.



- The hot water unit was found to be operational and producing hot water at the time of inspection.
- We would recommend an independent plumbing inspection be carried out by licensed plumber prior to purchase of the property as a precautionary measure.



AIR CONDITIONING

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- We would recommend servicing and cleaning of the air-conditioning units to ensure they remain in a sanitised and fully functional condition.
- We would suggest an air conditioning specialist be engaged to carry out an inspection of any air conditioning services to ascertain their condition prior to purchase of the property.





POWER BOARD/WIRING

Inspection Rating:

Unable to be inspected, Further Inspection Required. Safety Hazard.

Repair Time Frame:

Immediate.

- A residual current device appears to have been installed to the house. We would recommend regular testing of the safety switch to ensure it remains in a fully functional condition. It should however be noted that we were unable to legally test the operation of the safety switch during the course of our inspection. Investigate further.
- Some cracked switch plates ideally require replacement as a safety precaution eg kitchen stove isolator switch.
- We would recommend an independent electrical inspection be carried out by a licensed electrician prior to purchase of the property as a precautionary measure.
- Some crude wiring modifications have been undertaken eg exposed backing to the power points within the roof space. We would recommend further inspection and subsequent repairs undertaken where required. Hazardous. Safety issue.





LIGHTS

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- Some cosmetic light fitting repairs will be required to restore them back to a neat and satisfactory condition eg rusty external patio light fittings.
- We would recommend an independent electrical inspection be carried out by a licensed electrician prior to purchase of the property as a precautionary measure.

TELEPHONE

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- Some crude phone wiring and modifications were noted. Investigate further and undertake repairs where required.
- We would ideally recommend inspection of the telephone wiring and service be undertaken by a specialist in this field as a precaution prior to purchase of the property.

PEST RECOMMENDATIONS

Inspection Rating:

Unable to be inspected, Further Inspection Required.

Repair Time Frame:

Immediate.

- Although we are not licensed pest inspectors, we did notice some evidence of termite entry/damage into the subfloor area eg damage noted to a couple of bearers. We would recommend immediate consultation with a pest inspector as a precaution. We also noticed some evidence of borer damage within the subfloor area eg damage noted to some floor boards and to internal VJ wall linings. We would recommend immediate consultation with a pest inspector as a precaution.
- We would suggest a registered pest controller be engaged regularly to inspect for termite and pest infestations. Pest inspections, at a minimum should be carried out on an annual basis.
- There was no termite treatment label within the metre box. Investigate further to establish the extent of any previously installed termite barriers.
- We would recommend further consultation with a pest inspector to determine the extent of what appears to be termite evidence within the subfloor area. It should be noted that as we are not pest inspectors, we are not able to comment with certainty or in detail about pest matters.



SUMMARY

This summary is supplied to allow a quick and superficial overview of the inspection results. This summary is NOT the Report and cannot be relied upon on its own. This summary must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in this summary, the information in the Report shall override that in this summary.

The purpose of this inspection is to provide advice to a prospective purchaser regarding the condition of the property at the time of the inspection. This inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the condition of the property at the time of the inspection.

MAJOR DEFECTS

The incidence of Major Defects in this Residential Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered **HIGH**.

MINOR TO MODERATE DEFECTS

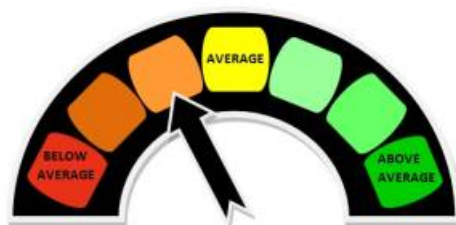
The incidence of Minor to Moderate Defects in this Residential Building in comparison to the average condition of similar buildings of approximately the same age that have been reasonably well maintained is considered **TYPICAL**.

OVERALL CONDITION

Therefore the overall condition of this Residential Dwelling in the context of its age, type and general expectations of similar properties is **ON THE LOWER SIDE OF AVERAGE**.

All items mentioned within this report should be rectified in the time frames indicated. Failure to rectify the reported faults may lead to more significant deterioration in the future.

Please note: This is a general appraisal only and cannot be relied on its own - the report must be read in its entirety.



LIMITATIONS AND CONDITIONS

The Terms and Conditions and Scope and Limitations form an integral part of this report and must be read thoroughly.

TERMS AND CONDITIONS

Any person who relies upon the contents of this Report does so acknowledging that the below clauses, definitions and disclaimers that follow define the Scope and Limitations of the inspection and form an integral part of the report.

Before you decide to purchase this property you should read and understand the following important information. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise.

SCOPE AND LIMITATIONS

THIS IS A VISUAL INSPECTION ONLY limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of inspection. The inspection DID NOT involve any invasive inspection including cutting, breaking apart, dismantling, removing or moving objects including, but not limited to, roofing, wall and ceiling sheeting, ducting, foliage, mouldings, debris, roof insulation, sarking, sisalation, floor or wall coverings, sidings, fixtures, floors, pavers, furnishings, appliances or personal possessions and other areas that are concealed or obstructed. The Inspector CANNOT see inside walls, between floors, inside skillion roofing, inside eaves, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects.

This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions and may only become apparent in differing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak). Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property.

REASONABLE ACCESS AND DISCLAIMER OF LIABILITY: No liability shall be accepted on account of failure of the Report to notify any problems in any area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including by not limited to any area(s) or section(s) so specified by the Report). Only areas to which reasonable access is available were inspected. Areas where reasonable entry is denied to the inspector, or where safe and reasonable access is not available, are excluded from and do not form part of, the inspection. Those areas may be the subject of an

additional inspection upon request following the provision of reasonable entry and access. The Australian Standard 4349.1 defines reasonable access as "the extent of accessible areas shall be determined by the inspector at the time of inspection, based on the conditions encountered at the time of the inspection. The inspector shall also determine whether sufficient space is available to allow safe access. The inspection shall include only accessible areas and areas that are within the inspector's line of sight and close enough to enable reasonable appraisal." Reasonable access does not include the cutting of access holes or the removal of screws and bolts or any other fastenings or sealants to access covers. Sub floor areas sprayed with Chemicals will not be inspected unless it is safe to do so.

Roof Void: the dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6m ladder, and, there is at least 600mm x 600mm of space to crawl.

Roof Exterior: Must be accessible from a 3.6m ladder placed at ground level. In some instances access may be gained to roof areas higher than 3.6m dependent upon safe access and strictly at the discretion of the building inspector. Access to external roof areas may not be possible during inclement or hazardous weather conditions, steep roof pitch or due to fragile roofing materials etc.

INSPECTION CRITERIA: The Inspection and Report compares the inspected building with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and durability.

REPORT DEFINITION: The Standard Property Report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future. This report is limited to a visual inspection of areas where reasonable access is available at the time of the inspection. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding specifically named within the report within 30 metres of the main building and within site boundaries including fences.

PEST INSPECTIONS: The inspection WILL NOT report on the presence or not of Timber Pest activity. You should have an inspection carried out in accordance with AS4349.3-1998 Timber Pest Inspections, by a fully qualified, licensed and insured Timber Pest Inspector. If timber pest damage is found then it will be reported. The inspector will only then report on the damage which is readily visible. There may be concealed damage in walls etc and we strongly recommend you arrange an invasive inspection to discover the full extent of the damage. If any evidence of timber pest damage is reported then timber pest activity may also be present. It is very important that you have an AS 4349.3-2010 Timber Pest Inspection carried out by a fully qualified, licensed and insured Timber Pest Inspector prior to purchase of the house.

SWIMMING POOLS: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in fines for non compliance under the legislation.

ROOMS BELOW GROUND LEVEL: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

ASBESTOS: No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even buildings built after this date up until the early 90's may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. If asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or of removal. Drilling, cutting or removing sheeting or products containing Asbestos is high risk to peoples' health. You should seek advice from a qualified asbestos removal expert.

MOULD (MILDEW AND NON-WOOD DECAY FUNGI): Mildew and non-wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided. If in the course of the inspection, Mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your Local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

ROOF VOID: If foil insulation is used within the roof void, we are not able to inspect the roof void as the foil insulation creates a potential health and safety risk because of the danger of electrocution and ceiling timbers being covered and it is dangerous to attempt to crawl over.

MAGNESITE FLOORING DISCLAIMER: No inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

ESTIMATING DISCLAIMER: Estimated costs of repairs are not provided in this report. Any verbal estimates are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector and are not estimates in the sense of being a calculation of the likely costs to be incurred. Any verbal estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out and what a contractor is prepared to do the work for. It is

recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any verbal estimates provided, where they are given, you agree to obtain and rely on independent quotations for the same work.

OWNER STATEMENT: If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:

- a) Obtain a statement from the owner as to
 - i. any timber Pest activity or damage
 - ii. timber repairs or other repairs
 - iii. alterations or other problems to the property known to them
 - iv. any other work carried out to the property including Timber Pest treatments
 - v. obtain copies of any paperwork issued and the details of all work carried out.
- b) Indemnify the inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.

STRATA TITLE: Where the property is covered by an Owners Corporation (Strata Title), we strongly recommend that an Owners Corporation search be conducted to ascertain the financial position, the level of maintenance and any other relevant information available through the conduct of such an inspection. Where the property is a strata or similar title, the inspector will only inspect the interior and immediate exterior of the particular unit requested to be inspected. The exterior above ground floor level is not inspected. The inspection will be as outlined in AS 4349.1-2007 Appendix B. Therefore it is advised that the client obtain an inspection of common areas prior to any decision to purchase. The complete inspection of other common property areas would be the subject of a Special Purpose Inspection.

ADDITIONAL INSPECTION TIME FRAME: Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the building inspection clause within the contract lapsing. In some cases it may be necessary to obtain an extension to your building clause. If you fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.

RESIDENTIAL PROPERTY: The Report is prepared and presented, unless stated otherwise, under the assumption that the existing use of the building will continue as a Residential Property.

DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at their own risk.

Prohibition on the Provision or Sale of the Report

The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorized to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause.

However, We may sell the Report to any other Person although there is no obligation for Us to do so.

Release

You release Us from any and all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of whatever nature that the Person may have at any time hereafter arising from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

Indemnity

You indemnify Us in respect to any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

SPECIAL PURPOSE PROPERTY REPORT: The inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007. This Standard Property Report does not contain any assessment or opinion in relation to any item, which is the subject of a Special Purpose Property Report (as defined in AS4349.1), or any matter where the inspection or assessment of which is solely regulated by Statute. Special Purpose Property Reports include comment on the following: Estimating Report; Electrical; Plumbing & Gas; Pest; Structural Engineering; Common property areas; Boundary lines and encroachment measurements; Environmental matters such as aspect, geotechnical, sunlight, privacy, streetscape, views etc; Proximity of property to flight paths, railways and busy traffic or other neighbourhood issues; Noise levels; Health and safety issues including the presence of asbestos, lead, mould, or toxic soils etc; Hazards Inspection;; Heritage or security matters; Fire protection or safety; Analysis of site drainage apart from surface water drainage; Lift Hydraulics; Garage door mechanicals; Swimming pools and spas; Durability of exposed finish materials; Neighbourhood usage such as pests, closeness to mines, public transport, hotels, stormwater drains, public entertainment venues etc; Document analysis eg. sewer drainage, plans and diagrams, surveys, building approvals, detection of illegal construction and compliance etc; The operation of fireplaces, chimneys, alarm systems, intercom systems, data systems, electrical and mechanical appliances, air conditioning systems, smoke detectors and residual current devices have not been tested and are the subject of a Special Purpose Property Report. Should you require an inspection to be carried out on any item not specifically covered by this report, you should engage a specialist in each of these fields.

CONSUMER COMPLAINTS PROCEDURE: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email, fax or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both

parties or as agreed as part of the mediated settlement.

Should the dispute or claim not be resolved by mediation then the dispute or claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner.

- (a) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- (b) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) days of the final day of arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs.

The decision of the Arbitrator is final and binding on both parties. Should the Arbitrator order either party to pay any settlement amount or costs to the other party but not specify a time for payment then such payment shall be made within twenty one (21) days of the order.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by: Andrew Mackintosh, Licence Number: 1106253

Inspector's contact phone number: 07 3201 2666

Dated this 7th day of April 2020

SIGNED FOR AND ON BEHALF OF: Action Property Inspections Pty Ltd



GENERAL MAINTENANCE TIPS

SURFACE DRAINAGE - Maintaining adequate drainage around a house will help prevent premature settlement of the house stumps or footings due to foundation swelling and movement. Excessive moisture around a house may also contribute to the attraction of termites. Simple surface dish drains will divert excessive moisture and water away from a house, whilst in other instances agricultural drainage will be required to divert water away from the house foundations.

RETAINING WALLS - Many timber retaining walls are constructed out of CCA treated hardwood or pine. Whilst the CCA treatment resists termite attack, it should be noted that especially in hardwood sleepers the termite treatment is not foolproof. As the treatment cannot get to the centre heart of the timber it is often found that termites have hollowed out the centre untreated sections of the hardwood sleepers. Therefore even CCA treated sleepers require close monitoring to prevent termite destruction.

SURROUNDING TREES - Large trees close to a house should ideally be removed as they may contribute to physical movement of the house footings or stumps or contribute to shrinkage of the foundations under the house due to moisture being removed from the ground by the tree roots. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees. Large trees close to the house also contribute to leaves lodging within the gutters and valley trays and may lead to water overflow inside the roof. We would therefore recommend gutters be regularly checked and cleaned.

MASONRY WALLS - Most masonry walls have weep holes to allow internal waterflow within the wall cavity to escape through the holes. It is essential that these weep holes be kept clean and free from debris to prevent internal water penetration during prolonged rain periods. It is also essential that these weep holes be kept 75mm above path level or 150mm above natural ground level where possible to help prevent termite entry.

STAIRS - Timber staircases use booker rods (threaded metal rods) spreading from one timber stringer to the next. These booker rods have nuts and washers at either end and are intended to secure the treads within the stringers to prevent them dislodging. It is essential that rusty or broken booker rods are replaced or rods that are still in a sound condition always be adequately checked and tightened to ensure the treads stay adequately secured within the stringers.

DOWNPIPES - We would advise close monitoring of downpipes for water overflow during heavy rain periods. Water overflow from the downpipes and gutters may indicate tree root blockages within the stormwater line. If this is suspected, we would recommend a licensed plumber be engaged to evaluate the stormwater line and if necessary place an electric eel through the pipeline to remove any tree roots potentially blocking the pipeline.

TIMBER DECKING - We would recommend timber decking always be adequately painted or stained to prevent premature splitting, decay and twisting of the decking boards.

ANT CAPS - It should be noted that ant caps do not prevent termite entry into a home however

simply bring them out into the open where they can be detected and subsequently treated. It is therefore imperative that regular inspections of the ant capping be carried out to prevent termite entry into the home. It should also be noted that any rusty ant capping should be replaced as damaged ant capping may not form an effective barrier against termites.

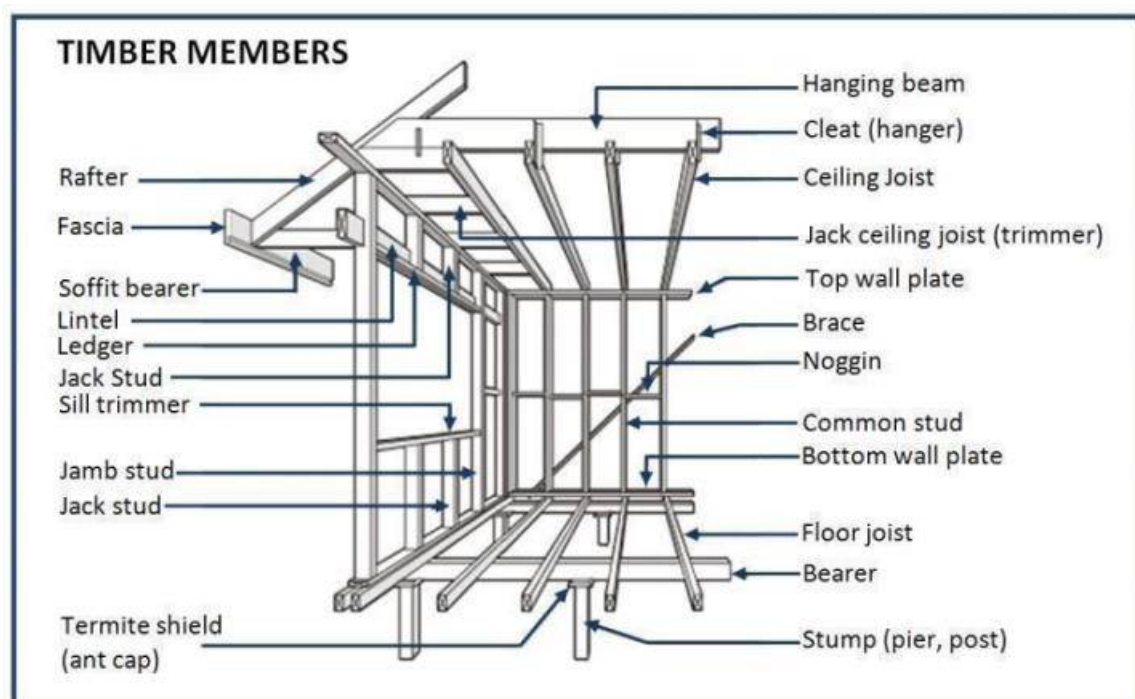
ROOF POINTING - We would recommend regular inspections of roof pointing, as deteriorating pointing can often lead to water penetration inside the roof during rain periods. Any cracked or broken sections of pointing should be patched with fresh mortar to prevent potential leaks.

WINDOW AND DOOR LUBRICATION - Whenever window locks or sash guides require lubrication it is usually a dry lubricate such as graphite dust etc that is required. The use of oil based lubricants may simply attract dust creating further problems for the latches etc in question.

SHOWER AND BATH TAPS - It is always advisable to apply silicone around the body of shower and bath taps to prevent water penetration inside the wall cavity. If this is not carried out future wall decay may occur.

SPLASHBACK TILES - It is always advisable to apply silicone along the base of the splashback tiles to prevent water penetration under the tiles. If this is not carried out, moisture swelling may occur to the bench tops.

GLOSSARY



Ant Caps or Strip Ant Capping - Metal barriers placed on stumps, piers or along masonry walls to aid in the detection of termites.

Architraves - Mouldings surrounding windows and doors.

Articulated Joint - To separate sections of masonry walls etc with joints to reduce the effects of shrinkage and settlement.

Balustrade - Spaced members used to support a handrail or to fill the gap left between the floor and a handrail on a verandah or stairs.

Beam - A load bearing member used to support structures or to create open spans.

Bearer - A sub floor timber that supports joists.

Booker Rods - Threaded steel rods. Used for wall frames, tie downs or in stair construction.

Brick Veneer - A single skin brick external wall tied to an internal timber or steel frame.

C.C.A. Treated - Timber treated with chemicals such as copper sulphate to deter termite attack and wood decay.

Cathedral Ceiling - Ceiling linings that run at the same rake as the exposed rafters used in the roof construction.

Ceiling Joists - Timber members opening between walls and with a ceiling lining attached.

Chamfer Boards - Generally used as exterior wall cladding. Usually have a beveled edge and a rebate edge.

Conduit - A hollow casing used to protect soft cables e.g. electrical wires.

Cornice - A moulding used to hide the joint between a wall and ceiling lining where they meet.

Dampcourse - A PVC or bitumen foil etc used to prevent moisture penetration or moisture rising.

Door Jambs - The vertical members of a door frame.

Door Furniture - Refers to handles, hinges, locks etc.

Easement - A right of way e.g. drain easements, power lines etc.

Eaves - The overhang of a roof around the exterior of a dwelling.

Efflorescence - A white powdery crystal substance deposited on masonry walls due to moisture leaching.

Encroachment - To build on or overstep boundary or easement lines.

Fascia - Capping to the end of the rafter along the eaves.

Flashings - Impervious materials used in various parts of a house to prevent moisture penetration e.g. lead.

Floor Joists - Timber members that support and are fixed to the floorboards.

Footing - The support used (usually concrete) to transfer the weight of a structure to the foundation (ground).

Foundations - The earth in which the footings are placed to support a house or structure.

Fretting - The crumbling and breakdown of bricks due to moisture or chemical reaction damage etc.

Gable - The vertical triangular end of a roof.

Hip - The rafter running from the corner of an exterior wall to the roof apex. A roof roughly pyramidal in shape with roof surfaces sloping inwards.

Infill Panels - Panels used to conceal the underfloor area structure from exterior viewing e.g. timber battens fixed across stump openings.

Insulation - Could be one of many various products used to control thermal or acoustic elements within our environment.

Lagging - Insulation applied to hot water pipes.

Lintel - A horizontal load bearing member above an opening in a wall.

Masonry - Stone or brick to form a wall of some description.

Mullion - The vertical dividing member in a window frame or door.

Newell Post - The main support posts at either end of a handrail.

Nogging - Blocking placed between studs or joists to give greater stability.

Piers - Usually constructed of bricks or blocks. Used to support the bearers of a house.

Purlins - A horizontal member in a roof used to help support the rafters in a pitched roof.

Rafter - The main supporting members for the roofing material.

Reinforcing - Usually steel, in various forms and placed in concrete to give additional strength.

Riser - The vertical board used under each tread to some stair designs.

Sarking - A waterproof type of paper or foil fixed to the rafters in a roof.

Sash - The movable part of the window that houses the glass.

Skillion - A roof sloping in one direction only.

Skirting - Interior moulding used to cover the joint between the walls and the floors.

Soffits - The underside lining of an area e.g. verandah ceiling.

Spalling - The blowout or cracking to concrete caused by steel corrosion within the concrete.

Stringers - The main side supports of a staircase that the treads fit into.

Tie Down - Various means of securing the house sections down to a stable base.

Tread - The horizontal members used in a staircase for walking on.

Truss - A structural load bearing component - usually found in the roof.

Under Pinning - A method of giving additional support to damaged or undermined footings and foundations.

Weep Holes - Drainage holes in masonry walls to allow for the release of water behind the wall.

ENCLOSURES

- CSIRO Foundation Maintenance and Footing Performance : A Homeowner's Guide.

TAX RECEIPT

ACTION PROPERTY INSPECTIONS PTY LTD

po box 1077 kenmore qld 4069

abn: 91 118 796 464

DATE:

7/4/20.

REFERENCE NO:

200407.

CLIENT:

Mr and Mrs Sample.

AMOUNT DUE:

\$XXX.00 (including GST)

AMOUNT PAID:

\$XXX.00 (including GST)

AMOUNT OUTSTANDING:

Nil.

Payment Received with Thanks